

**SRAA+E**

Architecture + Engineering, P.C.

Case  
Cloister East, Inc.  
v. NY SLA

Exhibit  
7

**Aug 13, 2020**

To whom it may concern,

I am the Managing Principal at SRA Architecture and Engineering a firm specializing in architecture, engineering, expediting, and code compliance. We are specialists in obtaining New York City Department of Buildings (NYCDOB) approvals to construct Eating and Drinking Establishments. I have been a New York State licensed architect for over 26 years. I have signed, stamped, expedited, and obtained NYCDOB approvals for over 200 Eating and Drinking Establishments applications. Throughout my career, I have solved difficult layouts to maintain safe Eating and Drinking Establishments. I have filed and obtained NYCDOB Place of Assembly Certificate of Operation for each establishment over 74 occupants.

Based on DOB Approved Application #121692329, I can attest to the fact that the Cloister Cafe at 238 East 9<sup>th</sup> Street (Tax Lot #32) is an Eating and Drinking Establishment with an outdoor space in the Rear Yard and has a connecting Courtyard (Tax Lot #31) open to the sky. Cloister Café has a DOB Approved Place of Assembly Certificate of Operation #122720314 for 136 occupants issued on 10/11/2017 and a FDNY Place of Assembly Account #27245562, expiring on 11/30/2020

DOB Approved Application #121692329, attached, drawing indicates an Existing Rear Yard with Seasonal Temporary Enclosure constructed of metal framing, canvas roof with plastic wall panels.

According to DOB Approved Application #121692329 the Rear Yard, is considered outdoor, with an DOB approved weather canvas covering and a total legal capacity of 71. Cloister Café, being cautious and consciousness, has chosen to have 30 feet of the south wall open to the air and allow natural circulation. The open-air Courtyard has a legal occupancy of 60.

According to DOB Approved Application #121692329, Exit A, 36" door (from the Eating and Drinking Establishment), can support a Maximum Egress capacity of 75 occupants; and Exit B, 10'-4" opening with roll down gate (from Courtyard) can support a Maximum Egress capacity of 275 occupants for a total Maximum Egress capacity of 350 occupants.

According to DOB Approved Applications both outdoor/open air spaces have been legally permitted as Eating and Drinking Establishment for many years.

I have personally been to Cloister Cafe on a number of occasions, during the pandemic, and can say with 100% certainty, that this is an Outdoor Space which is consistent with DOT Open Sidewalk and Roadway Seating Programs, and also both spaces are approved by NYCDOB and FDNY and therefore legally permitted.

Sincerely,



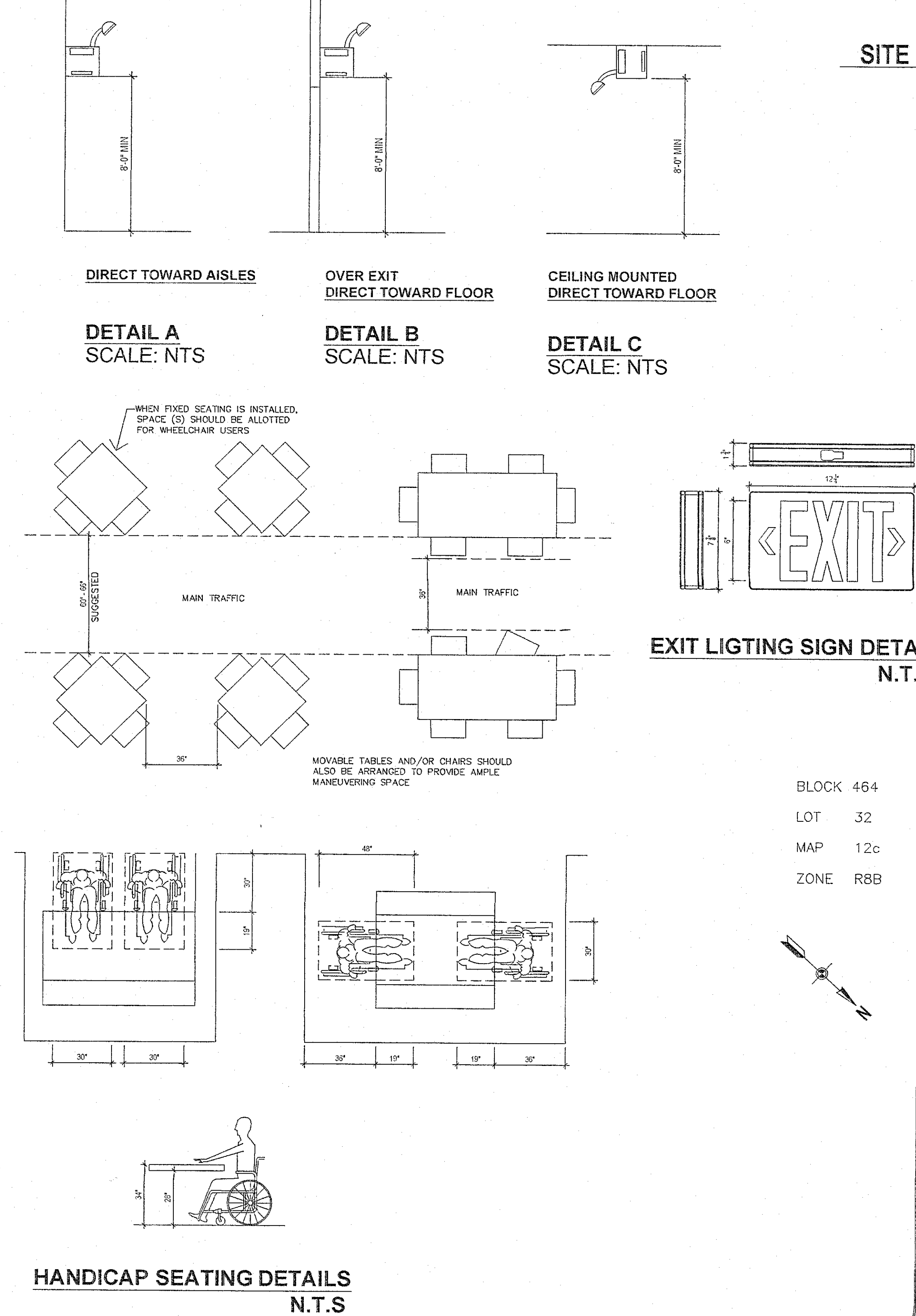


1. EXIT SIGNS SHALL CONFORM TO ALL PROVISIONS OF SUB-CHAPTER 6, ARTICLE 7 AND SECT 27-525 OF THE A.C. AND AS FOLLOWS:
- A) SIGNS SHALL BE INTERNALLY LIGHTED AND CONNECTED TO A POWER SOURCE AHEAD OF THE MAIN CIRCUIT BREAKERS.
- B) LIGHTS SHALL BE KEPT LIT ALL TIMES DURING OCCUPANCY OF PREMISES.
- C) INSTALLATION OF SIGNS SHALL BE SUCH THAT THEY ARE CLEARLY VISIBLE FROM ALL PLACES IN ASSEMBLY SPACE WITH THE BOTTOM OF SIGNS AT A HEIGHT OF AT LEAST 7'-0" ABOVE FLOOR LEVEL.
- D) LETTERS OF SIGNS SHALL BE RED BLOCK LETTERS AT LEAST 8" HIGH WITH MINIMUM 3/4" WIDE STROKES. BACKGROUND TO BE STENCILLED METAL, LIGHT GRAY OR WHITE IN COLOR OR OF TRANSLUCENT FROSTED GLASS OR SLOW BURNING PLASTIC.
2. EMERGENCY LIGHTING SYSTEM SPECIFIED UNDER THIS FILING SHALL CONFORM TO ALL PROVISIONS OF SECTION C27-525 OF THE A.C. AND SPECIFIED BY LOCAL LAW 41/78.
- A) ASSEMBLY SPACES SHALL BE PROVIDED WITH EMERGENCY LIGHTS SUFFICIENT TO ILLUMINATE FLOOR LEVEL WITH A MIN OF 5 FT. CANDLES AT ALL AISLES AND EXIT AREAS.
- B) EXIT AREAS TO BE ILLUMINATED WITHIN THE ASSEMBLY SPACE SHALL CONSIST OF THE EXIT SIGN, EXIT DOORWAY AND A SQUARE AT THE THRESHOLD OF THE POINT OF EGRESS WITH A SIDE WHOSE DIMENSION IS DOUBLE THE DOOR'S OPENING, OR EQUAL TO THE WIDTH OF AN ENCLOSED CORRIDOR (WHICHEVER IS LESS) LIGHT MEASUREMENT SHALL BE TAKEN ON THE HORIZONTAL.
- C) THE INTENSITY OF GENERAL ILLUMINATION SHALL NOT BE DIMENSIONED TO LESS THAN 2 FT. CANDLES AT A LEVEL OF 18" ABOVE FLOOR LEVEL AT CROSS AISLES.
- D) THE INTENSITY OF GENERAL ILLUMINATION ELSEWHERE IN THE ASSEMBLY SPACE SHALL NOT BE DIMENSIONED TO LESS THAN 1 FT. CANDLE AT A LEVEL OF 18" ABOVE FLOOR LEVEL.
- E) LIGHTING UNITS SHALL BE ARRANGED SO AS NOT TO INTRODUCE DISORIENTING GLARE TO THE PATH OF ESCAPE, DRAMATICALLY ALTER THE CHARACTER AND QUALITY OF ILLUMINATION OR OTHERWISE PRESENT HAZARD TO THE OCCUPANTS.
- F) ILLUMINATION SHALL BE ARRANGED SO THAT THE EVENT OF THE FAILURE OF ANY SINGLE LIGHTING UNIT, SUCH AS THE BURNING OUT OF AN ELECTRIC BULB, NO AREA WILL BE LEFT IN ENTIRE DARKNESS.
- G) EMERGENCY LIGHTS SHALL BE CONNECTED TO AN INTERNAL POWER SOURCE SEPARATE FROM GENERAL LIGHTING SYSTEMS, THIS BATTERY OPERATED INTERNAL POWER SYSTEM MAY HOWEVER BE RECHARGED FROM GENERAL LIGHTING AND POWER CIRCUITS IF SO DESIRED.
- H) ALL FIXTURES SHALL BE INSTALLED AT A MINIMUM OF 8'-0" ABOVE FLOOR LEVEL.
3. MINIMUM WIDTH OF AISLES CROSS AISLES SHALL BE 44" AND EACH AISLE SHALL LEAD TO APPROVED MEANS OF EGRESS EXCEPT:
- A) IN ANY ASSEMBLY SPACE HAVING A TOTAL OF NOT MORE THAN THREE HUNDRED OCCUPANTS.
- B) WHEN NOT MORE THAN THE NUMBER OF PERSONS PERMITTED FOR ONE UNIT OF EXIT WIDTH IS SERVED.
- C) AT THE NARROWEST POINT WHEN A TAPERED AISLE IS PERMITTED UNDER PARAGRAPH THREE OF B.C. 27-532.
- D) WHEN AN AISLE PARALLELS AND IS ALONGSIDE AN ENCLOSURE WALL OR PARTITION THAT IS PROVIDED WITH EXIT DOORS SPACED NOT MORE THAN SIXTEEN FEET ON CENTERS, PROVIDED SUCH AISLE SERVES ONLY THE ROWS OF SEAT ADJACENT TO IT.
4. A POSTED OCCUPANCY SIGN SHALL BE PROVIDED AS PRESCRIBED BY SECT. 27-527 MIN. SIZE TO BE 12" WIDE X 16" HIGH, LETTER SHALL BE RED, 1" HIGH, NUMERALS RED BUT 1-1/4" HIGH, SIGN SHALL BE PERMANENTLY MOUNTED WITH A MINIMUM OF 5 FT. CANDLES OF LIGHT.
5. EXIT DOORS AND HARDWARE SHALL COMPLY WITH ALL REQUIREMENTS OF SECT. 27-371 OF A.C. AND AS FOLLOWS:
- A) EXIT DOORS MAY NOT BE LOCKED AT ANY TIME DURING OCCUPANCY OF PREMISES AND SHALL BE KEPT CLEAR OF OBSTRUCTIONS AND READILY OPERABLE AT ALL TIMES FROM THAT SIDE OF THE EGRESS.
- B) DOORS SHALL NOT REQUIRE A KEY LOCK FROM SIDE OF EGRESS, SLIDE LOCKS, DEAD BOLTS, KEY LOCKS AND HARDWARE OTHER THAN N.Y.C. BUILDING DEPARTMENT AND B.S.A.
6. HOODS, FLUES, DUCTS AND GREASE FILTERS OVER COOKING RANGES AND OTHER APPLIANCES MUST BE MAINTAINED REGULARLY TO INSURE CLEANLINESS AND SAFETY. AN UP TO DATE MAINTENANCE RECORD OF THESE SERVICES FOR THE PAST 3 MONTHS SHALL BE KEPT ON PREMISES AND SHOWN TO THE BUILDING DEPARTMENT AND THE FIRE INSPECTOR AS REQUIRED.
7. AN APPROVED COPY OF THIS PLAN SHALL BE FRAMED AND KEPT ON PREMISES BY OWNER FOR INSPECTION BY N.Y.C. OFFICIALS AS REQUIRED BY N.Y.C.A.C. & LL 41/78.
8. NO PLACE OF ASSEMBLY SHALL BE LOCATED WITHIN 250'-0" OF ANY OCCUPANCY CONTAINING EXPLOSIVE MATERIALS.

1. SEATING AS SHOWN ON PLAN SHALL COMPLY WITH SECTION C26-891.4
2. WHERE EXIT SIGNS ARE INDICATED ON THE PLAN THEY SHALL BE AT LEAST 8" IN HEIGHT WITH STROKES AT LEAST 3/4" WIDE COMPLYING WITH ALL THE REQUIREMENTS OF SUB-ARTICLE 606.0, C26-801, IOE0 AND C26-801.17.
3. SIGNS SHALL BE INTERNALLY LIGHTED TYPE IN ALL ASSEMBLY SPACES WHERE THE GENERAL ILLUMINATION IS REDUCED TO LESS THAN FIVE (5) FOOT CANDLES DURING OCCUPANCY. SIGNS SHALL BE LIGHTED AT ALL TIMES DURING OCCUPANCY WITH COMPLIANCE TO C26-801.17.
4. THE ENTIRE EXHAUST SYSTEM FOR COOKING EQUIPMENT, INCLUDING DUCTS, HOODS AND SHALL BE INSPECTED PERIODICALLY AND THOROUGHLY CLEANED GREASE FILTERS SHALL SERVICED AND REPLACED REGULARLY BY QUALIFIED EMPLOYEES OF THE OWNER OR BY A CLEANING AGENCY, A RECORD INDICATING THE NAME OF THE PERSON OR THE FIRM DOING THE SERVICING AND THE DATES WHEN THE FILTERS WERE CLEANED OR REPLACED SHALL BE KEPT ON THE PREMISES AND SHALL BE AVAILABLE FOR INSPECTION BY THE COMMISSIONER AS FREQUENTLY AS NECESSARY BUT AT LEAST EVERY THREE MONTHS. AT LEAST TWICE A YEAR THE AUTOMATIC FIRE DAMPER LOCATED AT THE HOOD OUTLET RELEASE DEVICES AND FUSIBLE LINKS, IF EMPLOYED SHALL BE PROPERLY CLEANED AND OR REPLACED. AT LEAST ONCE EVERY YEAR THE AUTOMATIC VALVE OPERATION AND EXTINGUISHING SYSTEM SHALL BE TESTED, A RECORD OF SUCH TEST SHALL BE KEPT ON THE PREMISES AND SHALL BE AVAILABLE FOR INSPECTION BY THE COMMISSIONER OF BUILDINGS AND THE FIRE COMMISSIONER, C-26-1370 AND RS 13-3. A PERMIT SHALL BE SECURED FROM THE DEPARTMENT OF BUILDINGS; ANNUAL FEE SHALL BE PAID TO THE DEPARTMENT UPON ISSUANCE OF A PERMIT C26-34.0. DRAPES, CURTAINS, DECORATION AND SCENERY HAVING FLAME SPREAD RATINGS EXCEEDING 25 SHALL BE FLAMEPROOFED IN COMPLIANCE WITH C19-161.1 OF THE FIRE CODE C26-802.2.
5. ALL POINTS ARE WITHIN 125'-0" OF THE MAIN EXIT AS PER C26-1438 OBC. OWNER WILL PROVIDE A CAPACITY SIGN OF 20"X24" FOR THE APPROVED NUMBER OF PERSONS WHERE INDICATED AS PER C26-1440 OBC.

### NOTES RELATED TO EMERGENCY LIGHTING

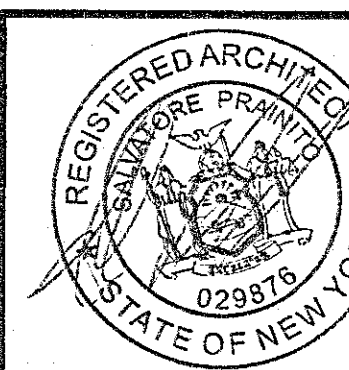
1. INSTALL APPROVED TYPE BATTERY EMERGENCY LIGHTS AS SHOWN ON PLANS, SAME TO BE APPROVED BY THE DEPARTMENT OF BUILDINGS AND BUREAU OF FIRE PREVENTION, & FIRE DEPARTMENT. INSTALLATION TO BE DONE BY A LICENSED ELECTRICIAN WHO SHALL OBTAIN ELECTRIC DEPARTMENT CERTIFICATE AND COMPLY WITH N.Y.C. ELECTRICAL CODE.
2. ALL BATTERY PACKS LIGHT ALARM 12 VOLTS WITH 25 WATT LAMPS.
3. ALL BATTERY PACKS TO BE MOUNTED 8'-0" ABOVE FINISHED FLOOR MIN.
4. ALL OTHER PACKS TO HAVE A MIN. OF TWO LAMPS EACH.
5. ALL DIMENSIONS SHOWN ARE PLUS OR MINUS.
6. NEW EMERGENCY LIGHTING TO CONFORM TO DIRECTIVE 5/79. MEMO 2-19-81 AND COMPLY WITH C27-542 PARAGRAPHS (1) - (8) OF THE N.Y.C. BUILDING CODE.
7. A MIN. OF FIVE FOOT CANDLES OF ILLUMINATION AT THE FLOOR LEVEL MUST BE PROVIDED AT ALL EXIT AREAS.
8. THE EXIT AREA TO BE ILLUMINATED WITHIN THE ASSEMBLY SPACE SHALL CONSIST OF THE EXIT SIGN, THE EXIT DOORWAY AND A SQUARE AT THE THRESHOLD OF THE POINT OF EGRESS WITH A SIDE WHOSE DIMENSION IS DOUBLE THE WIDTH OF THE EGRESS OPENING OR EQUAL TO THE WIDTH OF THE CORRIDOR, WHICHEVER IS LESS.
9. THE INTENSITY OF ILLUMINATION SHALL NOT BE DIMINISHED TO LESS THAN TWO FOOT CANDLES AT A LEVEL 18" ABOVE THE FLOOR AT CROSS AISLES.
10. THE INTENSITY OF GENERAL ILLUMINATION SHALL NOT BE DIMINISHED TO LESS THAN ONE FOOT CANDLE AT A LEVEL 18" ABOVE THE FLOOR ELSEWHERE.
11. THE LIGHTING UNITS SHALL BE SO ARRANGED SO AS NOT TO:
- A) INTRODUCE DISORIENTING GLARE TO THE PATH OF ESCAPE.
- B) DRAMATICALLY ALTER THE CHARACTER AND QUALITY OF ILLUMINATION.
- C) PRESENT A HAZARD TO THE OCCUPANTS AND BE PROTECTED AS NECESSARY.
12. ILLUMINATION SHALL BE SO ARRANGED THAT THE FAILURE OF ANY SINGLE LIGHTING UNIT SUCH AS THE BURNING OUT OF AN ELECTRIC BULB WILL NOT LEAVE ANY AREA IN DARKNESS.
13. EXIT LIGHT SHALL BE ON CIRCUITS THAT ARE SEPARATE FROM GENERAL LIGHTING AND POWER CIRCUITS, EITHER TAKEN OFF AHEAD OF THE MAIN SWITCH OR CONNECTED TO ANY EMERGENCY LIGHTING POWER SOURCE WHEN SUCH IS PROVIDED. HOWEVER, AN EMERGENCY LIGHTING POWER SOURCE IF BATTERY OPERATED MAY BE RECHARGED FROM THE GENERAL LIGHTING AND POWER CIRCUITS.



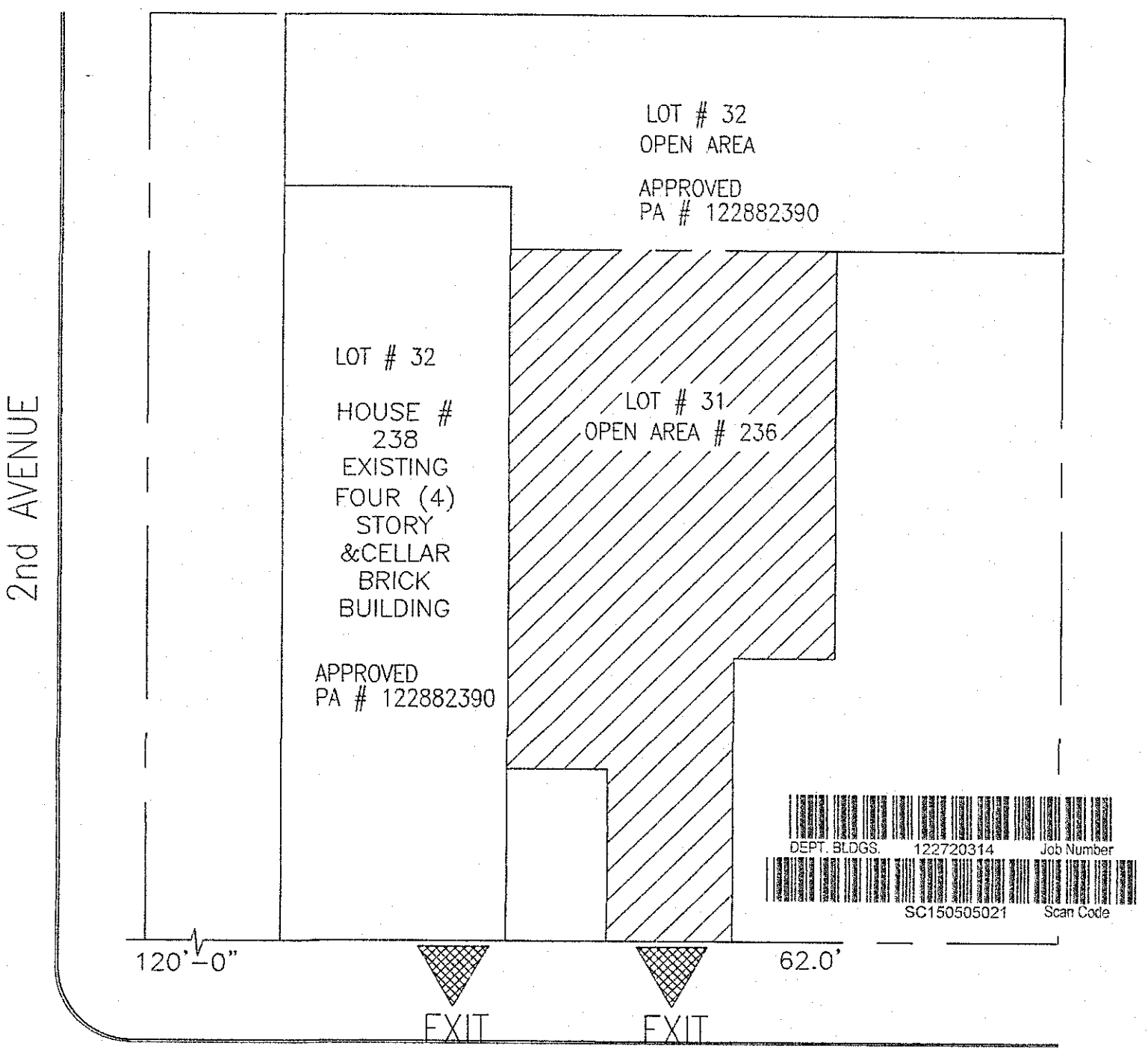
HANDICAP SEATING DETAILS  
N.T.S

RELATED NYCDOB JOB:  
NO. 122382830  
NO. 121692329  
NO. 122427221

NO:	REVISION:	DATE:



DRAWING TITLE: NOTES, DETAILS, PLOT PLAN			
PROJECT: 236 E 9TH STREET, NY,NY			
PRAINITO DESIGN GROUP L.L.C. 20-57 STEINWAY STREET, ASTORIA N.Y. 11105 (917) 647-2704			DRAWING NO. PA-01.00
DATE: 06-07-17	SCALE: AS NOTED	DRAWN BY: ELENA B.	PROJECT NO. 36-16
SHEET 1 OF 2			



PLOT PLAN  
N.T.S



OCCUPANCY  
BY MORE THAN:  
**60**  
PERSONS  
IS DANGEROUS  
AND UNLAWFUL

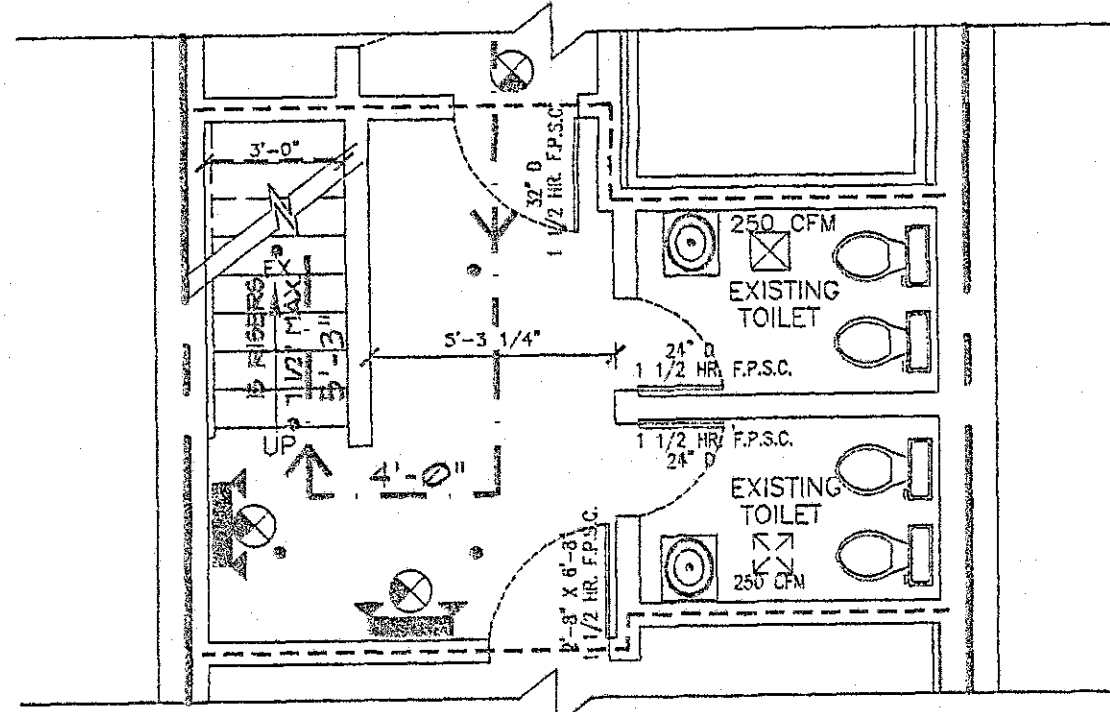
CERTIFICATE OF  
OPERATION No. DEPT. OF BUILDINGS  
CITY OF NEW YORK

## CAPACITY SIGN AS PER 27-527

SIGNS SHALL BE AT LEAST TWELVE INCHES WIDE AND SIXTEEN INCHES HIGH. THE LETTERING SHALL BE RED ON A WHITE BACKGROUND THE LETTERS SHALL BE AT LEAST ONE INCH HIGH AND THE NUMERALS AT LEAST ONE AND ONE-QUARTER INCHES HIGH SIGN SHALL BE FRAMED UNDER A TRANSPARENT PROTECTIVE COVER, AND PERMANENTLY MOUNTED IN A LOCATION THAT IS CONSPICUOUSLY VISIBLE TO A PERSON ENTERING THE SPACE SIGNS SHALL BE LIGHTED BY ARTIFICIAL ILLUMINATION AT ALL TIMES DURING OCCUPANCY TO MAINTAIN AT LEAST FIVE FOOT CANDLES ON THE SURFACE OF THE SIGN.

CAPACITY SIGN AS  
PER 27-527

OCCUPANCY BY MORE THAN 74 PERSONS IS  
DANGEROUS AND UNLAWFUL  
CERTIFICATE OF OPERATION No. XXX  
Commissioner, Dept. of Buildings,  
City of New York

PARTIAL EGRESS  
CELLAR PLAN

SCALE 1/4" = 1'-0"

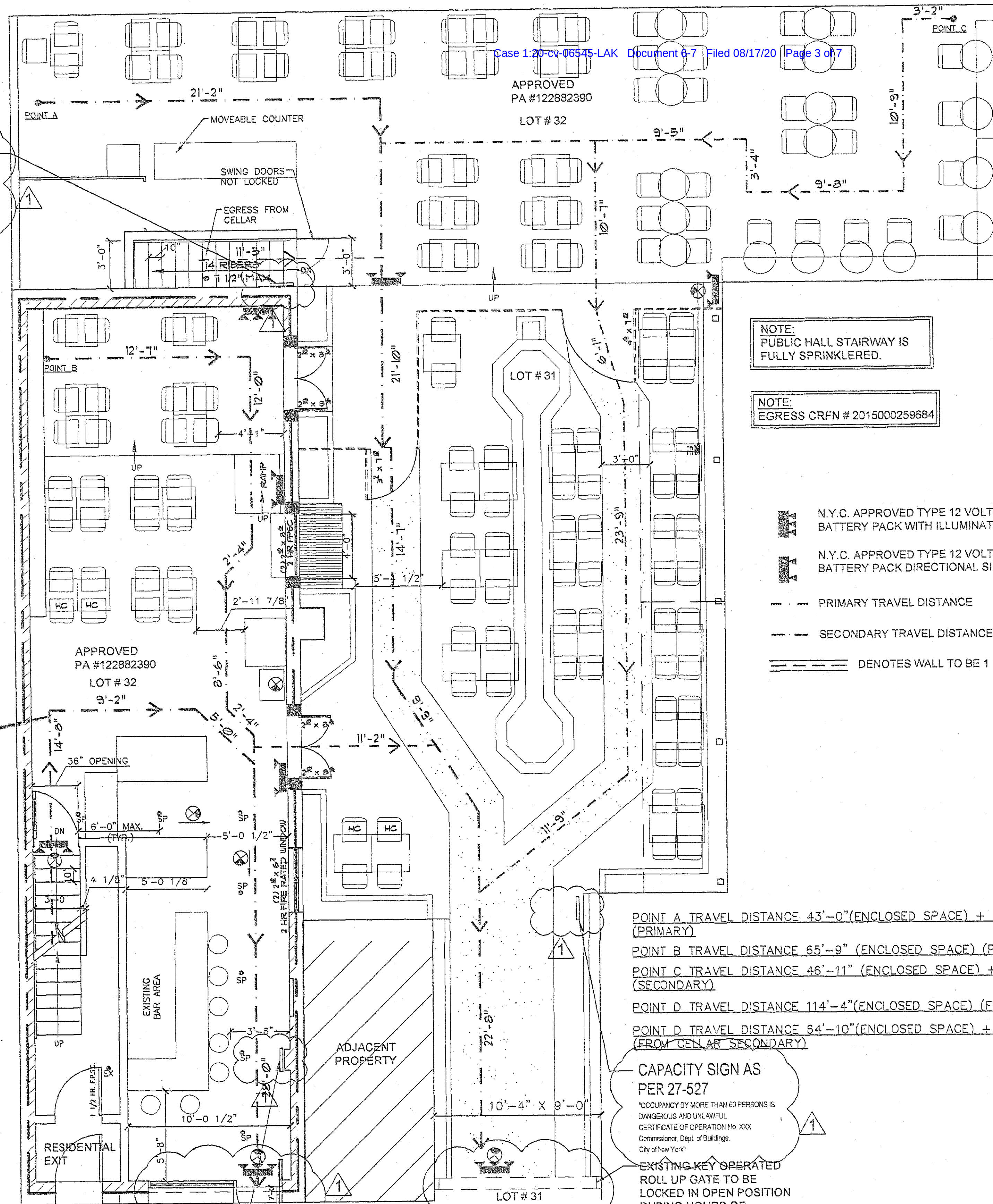
EXISTING KEY OPERATED  
ROLL UP GATE TO BE  
LOCKED IN OPEN POSITION  
DURING HOURS OF  
OPERATION.

CAPACITY SIGN AS  
PER 27-527

OCCUPANCY BY MORE THAN 62 PERSONS IS  
DANGEROUS AND UNLAWFUL  
CERTIFICATE OF OPERATION No. XXX  
Commissioner, Dept. of Buildings,  
City of New York

## EGRESS 1ST FLOOR PLAN

SCALE 1/4" = 1'-0"



EXIT A

81 PERSONS

EXIT B

281 PERSONS

NOTE:  
PUBLIC HALL STAIRWAY IS  
FULLY SPRINKLERED.

NOTE:  
EGRESS CRFN # 2015000259684

N.Y.C. APPROVED TYPE 12 VOLT 25 WATT, THREE LAMP  
BATTERY PACK WITH ILLUMINATED EXIT SIGN

N.Y.C. APPROVED TYPE 12 VOLT 25 WATT, TWO LAMP  
BATTERY PACK DIRECTIONAL SIGN

--- PRIMARY TRAVEL DISTANCE

--- SECONDARY TRAVEL DISTANCE

==== DENOTES WALL TO BE 1 HOUR FIRERATED

POINT A TRAVEL DISTANCE 43'-0" (ENCLOSED SPACE) + 47'-1" (OPEN SPACE)  
(PRIMARY)

POINT B TRAVEL DISTANCE 65'-9" (ENCLOSED SPACE) (PRIMARY)

POINT C TRAVEL DISTANCE 46'-11" (ENCLOSED SPACE) + 59'-5" (OPEN SPACE)  
(SECONDARY)

POINT D TRAVEL DISTANCE 114'-4" (ENCLOSED SPACE) (FROM CELLAR PRIMARY)

POINT D TRAVEL DISTANCE 84'-10" (ENCLOSED SPACE) + 47'-0" (OPEN SPACE)  
(FROM CELLAR SECONDARY)

CAPACITY SIGN AS  
PER 27-527

OCCUPANCY BY MORE THAN 60 PERSONS IS  
DANGEROUS AND UNLAWFUL  
CERTIFICATE OF OPERATION No. XXX  
Commissioner, Dept. of Buildings,  
City of New York

EXISTING KEY OPERATED  
ROLL UP GATE TO BE  
LOCKED IN OPEN POSITION  
DURING HOURS OF  
OPERATION.

## OCCUPANCY LOAD/EXIT ANALYSIS:

## EXTERIOR EATING &amp; DRINKING ESTABLISHMENT (LOT 31)

ASSEMBLY AREA = 1160 S.F.  
AS PER TABLE 6-2 (12 S.F. PER OCCUPANT - NO FIXED SEATING)  
SEATING AREA 1160 S.F./12 S.F. = 96 PERSONS (ALLOWED)  
TOTAL = 60 PROVIDED (OK)

EXIT CAPACITY PER TABLE 8-1  
EXIT OPENING REQUIRED - 50 PERSONS/UNITS OF WIDTH (22")  
96 / 50 X 22 = 42" REQUIRED  
EXIT OPENING PROVIDED - 38" + 54" = 92" (OK)  
NOTE THAT EASEMENT HAS BEEN GRANTED FOR EGRESS LOT 32 INTO 31

LOT 32 + LOT 31 = 141 + 96 = 237 PERSONS (ALLOWED)  
179 PERSONS (PROVIDED)

EXIT CAPACITY PER TABLE 8-1  
EXIT OPENING REQUIRED - 400 PERSONS/UNITS OF WIDTH (22")  
237 / 400 X 22 = 13" REQUIRED  
EXIT OPENING PROVIDED - 60" (OK)

## EXIT CAPACITY PER TABLE 8-1

F2 (OPEN SPACE, LOT 31)  
EXIT OPENING REQUIRED - 400 PERSONS /UNITS OF WIDTH  
(22") 237 / 400 X 22 = 13" REQUIRED  
EXIT "B" OPENING PROVIDED - 10'-4" GATE = 124" (OK)  
EXIT "A" OPENING PROVIDED - 3'-0" GATE = 36" (OK)

F4 (ENCLOSED SPACE, LOT 32)  
EXIT OPENING REQUIRED - 50 PERSONS /UNITS OF WIDTH  
(22") 237 / 50 X 22 = 80.96" REQUIRED  
EXIT "B" OPENING PROVIDED - 10'-4" GATE = 124"  
EXIT "A" OPENING PROVIDED - 3'-0" GATE = 36"  
TOTAL: 160" (OK)

EXIT A (3'-0" OR 36") - 36x50/22 = 81 PEOPLE  
EXIT B (10'-4" OR 124") - 124x50/22 = 281 PEOPLE  
TOTAL 362 PEOPLE (OK)

## TRAVEL DISTANCE ANALYSIS

## PER TABLE 8-1

## F2 (OPEN SPACE, LOT 31)

PRIMARY TRAVEL DISTANCE 175 FT MAX  
ACTUAL: 47'-1"

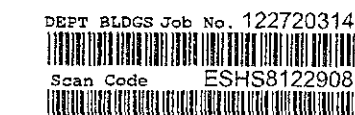
SECONDARY TRAVEL DISTANCE 250 FT MAX  
ACTUAL: 59'-5"

## F4 (ENCLOSED SPACE, LOT 32)

PRIMARY TRAVEL DISTANCE: 85 FT. MAX (127.5 FT. W/ SPRINKLERS)  
ACTUAL: 65'-9"

SECONDARY TRAVEL DISTANCE: 125 FT. MAX (187.5 FT. W/ SPRINKLERS)  
ACTUAL: 114'-4"

TRAVEL DISTANCE MAY BE INCREASED BY 50% IF SPRINKLERS ARE PROVIDED



DRAWING TITLE: PUBLIC ASSEMBLY PLAN, CELLAR &amp; FIRST FLOOR

PROJECT: 236 E 9TH STREET, NY, NY

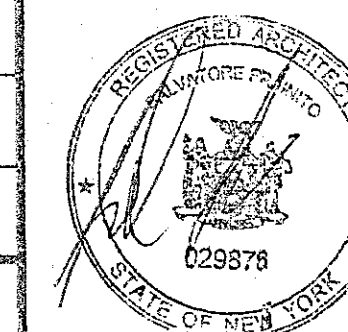
PRAINITO DESIGN GROUP L.L.C.  
20-57 STEINWAY STREET, ASTORIA N.Y. 11105  
(917) 647-2704

DRAWING NO.  
PA-02.01

DATE: 06-07-17 SCALE: AS NOTED DRAWN BY: ELENA B. PROJECT NO. 36-16

SHEET 2 OF 2

NO.	REVISION:	DATE:





# THE CLOISTER CAFE

238 EAST 9TH STREET, NEW YORK, NEW YORK

## GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT REQUIRED TO PERFORM ALL WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS AND SPECIFIED HEREIN. IN GENERAL THE WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
  - a. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS IN THE FIELD.
  - b. THE CONTRACTOR SHALL BE GUIDED AT ALL TIMES BY DIMENSIONS SHOWN ON PLANS AND NOT BY SCALE OF DRAWINGS. THE CONTRACTOR SHALL CONSULT THE ARCHITECT IN CASE OF ANY DISCREPANCIES.
  - c. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF NEW YORK CITY CONSTRUCTION CODE, MULTIPLE DWELLING LAW AND OTHER LOCAL & FEDERAL LAWS AND ORDINANCES.
  - d. BATHROOM VENTILATED BY MECHANICAL MEANS SHALL HAVE 1" AIR SPACE BETWEEN BOTTOM AND THRESHOLD OF DOORS.
  - e. ALL GYPSUM BOARDS IN BATHROOMS TO BE WATER-RESISTANT TYPE.
  - f. ALL NEW WALLS TO BE TAPED AND SPECKLED WITH 3 COATS, READY FOR PAINTING.
  - g. GAS RANGES TO BE A.G.A. APPROVED TYPE.
  - h. PROVIDE ONE LAYER OF 5" TYPE 'X' GYPSUM BOARD BEHIND GAS-RANGE FOR FIRE RETARDATION.

## PLUMBING NOTES:

1. ALL PIPING LAYOUTS ARE DIAGRAMMATIC AND ALL WORK SHALL BE INSTALLED UNDER BEST CONDITIONS.
2. ALL PIPING TO BE INSTALLED TO MEET ALL CONDITIONS. ALL PIPING TO BE INSTALLED UNDERGROUND AND BEHIND FINISH LINES OF WALLS, FLOORS AND CEILING EXCEPT WHEN APPROVED BY THE ARCHITECT.
3. ALL PIPING WORK WILL BE DONE BY A LICENSED PLUMBER AND IN ACCORDANCE WITH THE NEW YORK CITY 2008 PLUMBING CODE AND OTHER LOCAL & FEDERAL LAWS AND ORDINANCES.
4. ALL NEW SOIL AND WASTE AND STORM LEADER TO BE CAST IRON, SOIL AND WASTE AS PER CODE AND Riser DIAGRAM.
5. ALL NEW VENTING ABOVE GROUND COMPLY WITH NYC PC 702 TABLE 702.1, VENTING BELOW GROUND COMPLY WITH NYC PC 702 TABLE 702.2.
6. WATER SUPPLY & DISTRIBUTION MATERIAL SHALL CONFORM TO SECT. PC 805 AND TABLE 805.1 & 805.4.
7. WATER SUPPLY CONTROL VALVES TO BE INSTALLED AT EACH SUPPLY BRANCH TO THE GROUP OF FIXTURES AND TO SUPPLY BRANCHES OF INDIVIDUAL FIXTURES. ALL WATER CONTROL VALVES TO BE PLACED AS TO BE EASILY ACCESSIBLE FROM SERVICE AND MAINTENANCE. PC 603 & PC 604.
8. PLUMBING FIXTURES SHALL COMPLY WITH SEC. PC 402.
9. A. WATER CLOSET OF WIRELESS CINK. B. ALL OTHER FIXTURES TO BE IRON ENAMEL. C. ALL FIXTURES TO BE SELECTED BY OWNER/CONTRACTOR AND ARCHITECT.
10. PLUMBING WASTE AND STACKS SHALL BE PROVIDED WITH CLEANOUTS AT THEIR BASE. CLEANOUTS SHALL BE SET AS PER SEC. PC 708.
11. BATHROOMS AND TOILETS SHALL HAVE CERAMIC TILE FLOOR WITH 4" BASE. THIS SHALL HAVE 2 FEET HIGH CERAMIC TILE. CERAMIC TILE SHALL EXTEND ON CURB ABOVE SHOWER HEAD. WATER CLOSET SHALL COMPLY WITH LL 29/89.
12. ALL BATHROOMS RECESSED OR OTHERWISE, SHALL BE PROVIDED WITH SUFFICIENT CURTAIN RODS.
13. CARPENTER SHALL PROVIDE FRAMING & RECESS FOR MEDICINE CABINET.

## DEMOLITION NOTES:

1. THE WATER & GAS SUPPLY MUST BE DISCONNECTED PRIOR TO DEMOLITION OF ALL WORK ON PIPING AND EQUIPMENT PIPING, FLOOR DRAINS AND PLUMBING FIXTURES.
2. ALL UNUSED PLUMBING AND EQUIPMENT LINES MUST BE REMOVED AND CAPPED AT THE MAIN RISER OR BRANCH CONNECTION.
3. ALL EXISTING MASONRY CONSTRUCTION SUCH AS COLUMNS, PIERS AND CORE PARTITIONS, WHERE DISTURBED DUE TO ADJACENT DEMOLITION, SHALL BE REPAIRED OR REPLACED WITH MATERIALS MATCHING EXISTING CONSTRUCTION. MASONRY OPENINGS MUST BE FILLED WITH THE SAME MATERIALS BEFORE DEMOLITION OF EXISTING CONSTRUCTION.
4. REMOVE ALL ELECTRICAL CABINETS AND CONDUIT BACK TO THE SOURCE.
5. FIRE SAFETY MUST BE MAINTAINED FOR ALL PERSONNEL WORKING ON THE FLOOR.
6. WHERE DEMOLITION IS TO TAKE PLACE IN THE AREA OF THE BUILDING, WHERE FIRE SAFETY EQUIPMENT SUCH AS FIRE ALARM, SPRINKLER, SMOKE DETECTORS, FLOOR WARDEN STATIONS, ETC. ARE LOCATED, THE BUILDING MANAGER MUST BE NOTIFIED (3) THREE DAYS PRIOR TO COMMENCEMENT OF WORK, SO THAT SUCH EQUIPMENT MAY BE PROTECTED OR REMOVED.
7. ALL SAFETY EQUIPMENT AND ASSOCIATED CONDUIT AND WIRING SYSTEMS SHALL NOT BE HARMED DURING DEMOLITION AND OR CONSTRUCTION AND SHALL BE PROTECTED FROM PHYSICAL DAMAGE.
8. THE DEMOLISHED WORK AND DEBRIS MUST BE REMOVED SO IT WILL PERMIT FOR A NEW MATERIALS AND EQUIPMENT TO BE PROPERLY INSTALLED.

## CARE IN REMOVAL OF WORK AND CLEAN UP

1. ALL REMOVAL SHALL BE PERFORMED IN KEEPING WITH THE BEST SAFETY PRACTICE GOVERNING THE SAME IN ACCORDANCE WITH ALL CITY, STATE AND/OR FEDERAL LAWS GOVERNING THE SAME.
2. ALL DEBRIS RESULTING FROM THE OPERATION UNDER THIS CONTRACT SHALL BE REMOVED FROM THE SITE AND SHALL NOT BE STORED OR PERMITTED TO ACCUMULATE ON THE SITE.
3. UPON COMPLETION OF WORK UNDER THIS CONTRACT, THE CONTRACTOR SHALL NOT REMOVE ALL TOOLS, EQUIPMENT, MATERIALS, APPARATUS, ETC., AND SHALL LEAVE THE PREMISES CLEAN, NEAT AND ORDERLY. ALL DEBRIS SHALL BE BROOM SWEEP OR VACUUMED.

## SMOKE DETECTOR NOTES (BC907.2.10)

1. LISTED SINGLE-OR MULTIPLE STATIONS SMOKE DETECTORS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH PROVISIONS OF BC & NFPA 72.
2. LOCATION: IN EVERY DWELLING UNIT (R-2) REGARDLESS OF OCCUPANCY LOAD AS FOLLOWS:
  - a. ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES AND WITHIN 15 FEET FROM THE DOOR OF SUCH ROOM.
  - b. IN EACH ROOM USED FOR SLEEPING PURPOSES.
  - c. IN EACH STORY WITHIN A DWELLING UNIT INCLUDING BELOW-GRADE STORIES AND PENITHOUSE OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLING OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT INTERVENING DOOR BETWEEN THE ADJACENT, A SMOKE ALARM INSTALLED ON UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS ONE FULL STORY BELOW THE UPPER LEVEL (BC907.2.10.1.1).
  - d. POWER SOURCE: REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM A DEVIATED BRANCH CIRCUIT OR THE DISTRIBUTION PORTION OF THE BRANCH CIRCUIT ALSO USED FOR POWER AND LIGHTING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL EMIT A SMOKE WHEN THE ENTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER-CURRENT PROTECTION. (BC 907.2.10.2)

INTERCONNECTION: WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED TO BE INSTALLED WITHIN INDIVIDUAL DWELLING UNIT IN GROUP R-2/R-3 OR WITHIN AND MATERIALS, TOOLS AND EQUIPMENT REQUIRED TO PERFORM ALL WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS AND SPECIFIED HEREIN. IN GENERAL THE WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
   
TESTING: WHEN THE INSTALLATION OF THE ALARM DEVICES IS COMPLETE, EACH DETECTOR AND INTERCONNECTING WIRING FOR MULTIPLE-STATION ALARM DEVICES SHALL BE TESTED IN ACCORDANCE WITH THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISION OF NFPA 72 (BC907.2.10.4)
   
VISIBLELY SMOKE DETECTORS SHALL BE PROVIDED WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLICATIONS IN ACCORDANCE WITH ICC/ANSI 117.1 (BC907.2.10.5)

## CARBON MONOXIDE DETECTOR NOTES

EVERY DWELLING UNIT SHALL BE EQUIPPED WITH AN OPERATIONAL AND APPROVED TYPE CARBON MONOXIDE DETECTOR DEVICES RECEIVING PRIMARY POWER FROM THE BUILDING WIRING WITH NO SWITCHES IN THE CIRCUIT OTHER THAN THAT OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT WITH SECONDARY BATTERY BACK-UP IN COMPLIANCE WITH BC 907 AND LOCAL LAW 7-2004. ALL CARBON MONOXIDE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE ENTRANCE OF ANY SLEEPING ROOM, HALL OR CEILING MOUNTED AND INDICATED ON PLAN. SUCH CARBON MONOXIDE DETECTING DEVICE MAY BE COMBINED WITH SMOKE DETECTING DEVICES THAT COMPLY WITH THE PROVISIONS OF CHAPTER 9 OF 2008 NYC BUILDING CODE.

## TENANT PROTECTION PLAN (2008 CODE - 28-104.8.4)

1. EGRESS AT ALL TIMES IN THE COURSE OF CONSTRUCTION, PROVISION SHALL BE MADE FOR ADEQUATE EGRESS, AS REQUIRED BY THIS CODE AND TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS MUST NOT BE OBSTRUCTED AT ANY TIME, EXCEPT WHERE APPROVED BY THE COMMISSIONER.
2. FIRE SAFETY ALL NECESSARY LAWS AND CONTROLS INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES, SHALL BE IDENTIFIED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.
3. HEALTH REQUIREMENTS SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES AND LIMITATION TO NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.
  - a. 3.1. THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.
  - b. 3.2. COMPLIANCE WITH HOUSING STANDARDS THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.
  - c. 3.3. NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.
  - d. 3.4. NOISE RESTRICTIONS WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO NEW YORK CITY NOISE CONTROL CODE, SUCH LIMITATION SHALL BE STATED.
4. PLANS SUBMITTED BY APPLICANT SHALL SHOW COMPLIANCE WITH THE ABOVE ITEMS DURING CONSTRUCTION DETAILS SUCH AS TEMPORARY FIRE-RATED ASSEMBLIES AND OPENING PROTECTION SHALL BE INCLUDED.
5. CONSTRUCTION WORK WILL BE CONFINED TO THE APARTMENT INTERIOR AND WILL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER APARTMENT UNITS WITHIN THE BUILDING.
6. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING.
7. EXTERMINATION & RAT PROOFING- (SEC 80 MDL & SUB. 2 ART 4 HMC)
  - a. 1. DWELLING SHALL BE CONSTRUCTED AS TO BE RAT-PROOF.
  - b. 2. PREMISES SHALL BE MAINTAINED AND KEPT FREE OF RODENT AND INSECT INFESTATION.
  - c. 3. RECEPTACLES FOR COLLECTION OF WASTE MATTER - (SEC 81 MDL & SUB. 2 ART. 5 HMC)
    - i. 1. PROPER AND SUITABLE CONVENIENCE OR RECEPTACLES SHALL BE PROVIDED FOR COLLECTION OF WASTE MATTER.
    - ii. 2. RECEPTACLES FOR COLLECTION OF WASTE MATTER SHALL BE PROVIDED WITH APPROVED TYPE AUTOMATIC SELF-CLOSING AND SELF-LOCKING DOORS.
    - iii. 3. ENTRANCE DOORS TO EACH DWELLING UNIT SHALL HAVE KEY LOCK WITH AT LEAST ONE KEY TO BE PROVIDED BY OWNER.
    - iv. 4. CLASS A MULTIPLE DWELLING CONTAINING EIGHT OR MORE APARTMENTS SHALL BE EQUIPPED WITH APPROVED TYPE INTER-COMMUNICATION SYSTEM LOCATED AT THE DOOR GIVING ACCESS TO THE MAIN ENTRANCE HALL OR LOBBY.
    - v. 5. MAIN ENTRANCE AND VESTIBULE DOORS SHALL HAVE NOT LESS THAN FIVE (5) SQ. FT. OF GLAZED SURFACE.
    - vi. 6. PEERHOLES SHALL BE PROVIDED IN ENTRANCE DOORS OF EACH DWELLING UNIT, LOCATED AS PRESCRIBED BY THE DEPARTMENT.
  - d. 4. BUILDING ENTRANCE DOORS AND OTHER EXTERIOR DOORS SHALL BE PROVIDED WITH A HEAVY DUTY LOCK SETS WITH AUXILIARY LATCH BOLTS TO PREVENT THE LATCH FROM BEING MANIPULATED BY OTHER THAN A KEY.
  - e. 5. ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH A HEAVY DUTY LOCK SETS, A DEAD BOLT OR AUXILIARY LATCH AND A CHAIN DOOR GUARD.
  - f. 6. ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH SASH LOCKS DESIGNED TO BE OPERABLE FROM THE INSIDE ONLY.
  - g. 7. BUILDING CLASSIFIED IN OCCUPANCY GROUP J-2 (R-2) CONTAINING EIGHT OR MORE DWELLING UNITS SHALL BE PROVIDED WITH AN INTER-COMMUNICATION SYSTEM LOCATED AT THE DOOR GIVING ACCESS TO THE ENTRANCE HALL OR LOBBY.

## MULTIPLE DWELLING LAW AND HOUSING MAINTENANCE CODE

PAINING-(SEC 29 MDL & SUB.2 ART.3 HMC)
   
PAINTING OF PUBLIC PARTS AND WITHIN DWELLING SHALL COMPLY WITH SEC 27-2013 HMC.
   
PAINTING OF WINDOWS FRAMES SHALL COMPLY WITH SEC 27-2014 HMC.
   
WALLS OF COURTS AND SHAFTS SHALL BE OF A LIGHT COLORED SURFACE AS PER 27-2015 HMC.
   
ALL PUBLIC WALLS SHALL BE PAINTED.

EXTERMINATION & RAT PROOFING- (SEC 80 MDL & SUB. 2 ART 4 HMC)
   
1. DWELLING SHALL BE CONSTRUCTED AS TO BE RAT-PROOF.
   
2. PREMISES SHALL BE MAINTAINED AND KEPT FREE OF RODENT AND INSECT INFESTATION.

RECEPTACLES FOR COLLECTION OF WASTE MATTER - (SEC 81 MDL & SUB. 2 ART. 5 HMC)

1. PROPER AND SUITABLE CONVENIENCE OR RECEPTACLES SHALL BE PROVIDED FOR COLLECTION OF WASTE MATTER.

2. RECEPTACLES FOR COLLECTION OF WASTE MATTER SHALL BE PROVIDED WITH APPROVED TYPE AUTOMATIC SELF-CLOSING AND SELF-LOCKING DOORS.

3. ENTRANCE DOORS TO EACH DWELLING UNIT SHALL HAVE KEY LOCK WITH AT LEAST ONE KEY TO BE PROVIDED BY OWNER.

4. CLASS A MULTIPLE DWELLING CONTAINING EIGHT OR MORE APARTMENTS SHALL BE EQUIPPED WITH APPROVED TYPE INTER-COMMUNICATION SYSTEM LOCATED AT THE DOOR GIVING ACCESS TO THE MAIN ENTRANCE HALL OR LOBBY.

5. MAIN ENTRANCE AND VESTIBULE DOORS SHALL HAVE NOT LESS THAN FIVE (5) SQ. FT. OF GLAZED SURFACE.

6. PEERHOLES SHALL BE PROVIDED IN ENTRANCE DOORS OF EACH DWELLING UNIT, LOCATED AS PRESCRIBED BY THE DEPARTMENT.

7. BUILDING ENTRANCE DOORS AND OTHER EXTERIOR DOORS SHALL BE PROVIDED WITH A HEAVY DUTY LOCK SETS WITH AUXILIARY LATCH BOLTS TO PREVENT THE LATCH FROM BEING MANIPULATED BY OTHER THAN A KEY.

8. ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH A HEAVY DUTY LOCK SETS, A DEAD BOLT OR AUXILIARY LATCH AND A CHAIN DOOR GUARD.

9. ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH SASH LOCKS DESIGNED TO BE OPERABLE FROM THE INSIDE ONLY.

10. BUILDING CLASSIFIED IN OCCUPANCY GROUP J-2 (R-2) CONTAINING EIGHT OR MORE DWELLING UNITS SHALL BE PROVIDED WITH AN INTER-COMMUNICATION SYSTEM LOCATED AT THE DOOR GIVING ACCESS TO THE ENTRANCE HALL OR LOBBY.

GAS APPLIANCES - (SEC. 84 MDL & SUB.2 ART 9 HMC)

1. METERS SHALL COMPLY WITH SEC. MDL

2. GAS APPLIANCE SHALL COMPLY WITH THE BOARD OF STANDARDS & APPEALS.

REGISTRATOR SHALL BE POSTED

1. REGISTRATION STATEMENT SHALL BE FILED.

2. REGISTRATION IDENTIFICATION SIGN CONTAINING DWELLING SERIAL NUMBER SHALL BE POSTED

3. IDENTIFICATION OF MANAGING AGENT OR OWNER SHALL BE INDICATED ON TENANTS RENT RECEIPT.

4. PREMISES TO COMPLY WITH APPLICABLE SECTIONS OF MDL HOUSING MAINTENANCE CODE & LL76/68 AS AMENDED.

BELLS AND MAIL SERVICE-(SEC 57 MDL & ART 21 HMC)

1. BELL OR BUZZER SYSTEM SHALL BE APPROVED TYPE AND SHALL BE KEPT TO GOOD WORKING ORDER.

2. PROVIDE AND MAINTAIN APPROVED TYPE MAIL RECEPTACLES AND DIRECTORIES OF PERSONS LIVING IN BUILDING AS PROVIDED BY FEDERAL LAW AND AS PER REGULATIONS OF THE POST OFFICE DEPT. MAIL BOXES TO BE READILY ACCESSIBLE TO MAILMAN.

FLOOR SIGNS AND STREET NUMBERS - (ART 21 HMC)

1. PROPER FLOOR SIGNS SHALL BE PROVIDED AND MAINTAINED IN PUBLIC HALL NEAR STAIRS AND ELEVATORS WITHIN STAIR ENCLOSURE.

2. PROPER STREET NUMBERS SHALL BE POSED AND MAINTAINED IN FRONT OF THE DWELLING IN ACCORDANCE WITH THE ADMINISTRATIVE CODE AND THE RULES AND REGULATIONS OF THE BOROUGH PRESIDENT.

KITCHENS AND KITCHENETTES - (SEC 33 MDL AND ART 32 HMC)

1. EVERY KITCHEN AND KITCHENETTE SHALL BE PROVIDED WITH GAS AND ELECTRICITY OR BOTH FOR COOKING AND SHALL BE EQUIPPED FOR ARTIFICIAL LIGHTING.

2. KITCHENETTES SHALL BE PROVIDED WITH A SINK HAVING A MIN. 2" WASTE TRAP.

3. CEILINGS AND WALLS OF ALL KITCHENETTES SHALL BE FIRE RETARDED WITH MATERIAL HAVING A ONE HOUR FIRE RATING.

4. KITCHENETTES SHALL BE PROVIDED WITH MECHANICAL VENTILATION WHICH WILL PROVIDE 6 CHANGES OF AIR PER HOUR, BUT NOT LESS THAN 100 CFM AS PER BC 1204 AND CHAPTER 4

WATER CLOSET AND BATHROOMS - (SEC. 76 MDL & ART. 31 HMC)

1. WALLS AND FLOORS OF WATER CLOSET COMPARTMENTS, BATHROOMS AND LAVATORIES SHALL COMPLY WITH REQUIREMENTS OF THESE SECTIONS.

2. EVERY WATER CLOSED COMPARTMENT, BATHROOM OR LAVATORY SHALL HAVE MECHANICAL VENTILATION WHICH WILL PROVIDE AT LEAST FOUR CHANGES OF AIR PER HOUR OR A MIN. OF 50 CU.FT. OF AIR FOR EACH SUCH WATER CLOSET COMPARTMENT, BATHROOM OR LAVATORY OR SHALL BE PROVIDED WITH APPROVED TYPE REGISTER AND TENANT OPERATED FAN WITH FUSIBLE LINK DAMPER B.S. CAL# 638-41-SM

3. BATHROOM AND LAVATORIES SHALL HAVE CERAMIC TILE FLOOR AND 6" BASE. CERAMIC TILE 6" HIGH ON WALLS OF SHOWERS AT TUBS AND OR STALL SHOWERS.

4. MOISTURE RESISTANT PLASTER BOARD ON WALLS BSA CAL# 755-82-SM LAUNDRY ROOM

5. LAUNDRY SHALL BE FOR TENANT'S USE ONLY. MACHINES SHALL BE PROVIDED.

6. SELF-SERVICE TYPE, NO EMPLOYEES SHALL ENGAGE IN OPERATION OF EXTRACTORS OR DRYERS.

PLUMBING AND DRAINAGE - (SEC. 77 MDL & ART 16 HMC)

1. ENTIRE PLUMBING AND DRAINAGE SYSTEM INCLUDING ALL PLUMBING FIXTURES SHALL BE PROPERLY MAINTAINED AND KEPT IN GOOD REPAIR AT ALL TIMES.

2. ALL ROOFS, TERRACES, SHAFTS, COURTS, AREAS AND YARDS SHALL BE PROPERLY GRADED AND DRAINED (SEE SITE PLAN) HEAT AND HOT WATER.

3. YEARLY INSPECTIONS OF CENTRAL HEATING PLANTS SHALL BE MADE BY QUALIFIED PERSONS.

4. MINIMUM TEMPERATURES FOR HEATING AND HOT WATER SHALL BE MAINTAINED.

5. BOILER ROOM TO COMPLY WITH SEC 65 MDL RULES AND REGULATIONS

THE PLUMBING SYSTEMS (SANITARY, WASTE, VENT, WATER DISTRIBUTION AND GAS) AND ALL ASSOCIATED EQUIPMENT WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FULL REQUIREMENTS OF THE NEW YORK CITY 2008 PLUMBING CODE

## NYC DOB PLUMBING NOTES:

1. THE PLUMBING SYSTEMS (SANITARY, WASTE, VENT, WATER DISTRIBUTION AND GAS) AND ALL ASSOCIATED EQUIPMENT WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FULL REQUIREMENTS OF THE NEW YORK CITY 2008 PLUMBING CODE

2. THE MATERIALS USED IN THE PLUMBING SYSTEMS WILL BE PROVIDED IN FULL ACCORDANCE WITH THE SECTIONS PC 302 & PC 303

3. EQUIPMENT HOOK-UP AND THE JOINING WILL BE IN FULL COMPLIANCE WITH THE SECTIONS PC305 & PC 705.

4. THE INSTALLATION OF FIXTURES WILL BE IN FULL ACCORDANCE WITH PC CHAPTER 7.

5. TRAPS FOR FIXTURES AND DRAIN LINES WILL BE PROVIDED AND CLEANOUTS INSTALLED IN FULL COMPLIANCE WITH THE SECTIONS PC 412, PC 708 & PC CHAPTER 10.

6. VERTICAL AND HORIZONTAL PIPING WILL BE HUNG AND SUPPORTED AS DIRECTED IN SPECIFICATIONS AND WITH THE FULL COMPLIANCE WITH SECTION PC 308.

7. THE WATER SUPPLY SYSTEMS OF THE SUBJECT BUILDING SHALL BE INSTALLED AND MAINTAINED IN FULL COMPLIANCE WITH PC CHAPTER 9.

8. THE SANITARY DRAINAGE SYSTEM WILL BE SIZED AND INSTALLED IN FULL COMPLIANCE WITH PC CHAPTER 7.

9. THE VENT PIPING FOR THE SANITARY DRAINAGE SYSTEM OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL COMPLIANCE WITH SECTION PC 702 & PC CHAPTER 9.

10. THE STORM DRAINAGE SYSTEM AND PIPING WILL BE INSTALLED IN FULL COMPLIANCE WITH PC CHAPTER 11.

11. GAS PIPING AND EQUIPMENT WILL BE INSTALLED IN FULL COMPLIANCE WITH THE NEW YORK CITY 2008 FUEL GAS CODE.

12. ALL TRENCHING SHALL BE DONE IN FULL ACCORDANCE WITH THE REQUIREMENTS OF SECTION PC 308.

13. RAT PROOFING SHALL BE PROVIDED IN FULL ACCORDANCE WITH THE SECTIONS PC 308.

14. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR SECTION PC 311.

15. NOT WITHSTANDING ABOVE STATEMENTS, THE WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE SCOPE SPECIFIED IN CONSTRUCTION DOCUMENTS.

ZONING ANALYSIS (EXISTING)  
THE CLOISTER CAFE  
LOCATED AT:  
238 EAST 9TH STREET, NEW YORK, NY 10003

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BLOCK 464  
LOT 32  
MAP 12c  
ZONE R8B  
EXISTING USE 1STY GARAGE, UG 16  
PROPOSED USE (EATING AND DRINKING ESTABLISHMENTS), UG 6 (ZR32-15) (Non conforming use)  
EXISTING LOT AREA 56'X18' + 62'X19' = 2,186 S.F.  
MINIMUM LOT AREA 1,700 Sq.ft. Per Zoning Lot. (ZR32-32)

MAXIMUM FLOOR AREA RATIO 2.00 (ZR33-121) (FOR COMMERCIAL PORTION)

MAXIMUM FLOOR AREA 2,186 X 2 = 4,372 Sq.ft.

MAXIMUM FLOOR AREA RATIO 3.14 X 2,186 = 6,864 Sq.ft. (FOR RESIDENTIAL ONLY) 3.14 (ZR23-142)

TOTAL EXIST'G RESIDENTIAL FLOOR AREA 1,014 X 3 = 3,042 Sq.ft. 3,042< 6,864 (Acceptable)

MINIMUM OPEN SPACE RATIO 0.5 Req: 6.8% OF F.A. (ZR23-142) 2,186x0.068= 148.6 Sq.ft. (Acceptable)

EXIST FLOOR AREA (Com)=2,186 Sq.ft.<4,372 Sq.ft. (Acceptable)

FOR LOT

MINIMUM LOT WIDTH (ZR23-32)-18FT

MINIMUM REQUIRED FRONT YARD (ZR23-632)(ZR35-52) Not Required

MINIMUM REQUIRED SIDE YARD (ZR23-462)(ZR33-25) Not Required. If Open Area is Provided Minimum 8ft Wide is Required

MINIMUM REQUIRED REAR YARD (ZR23-47) 30ft is required beyond 100ft from corner. For residential portion. (ZR33-26) 20ft required beyond 100ft from corner for commercial portion.

MAXIMUM HEIGHT OF FRONT WALL (RESIDENTIAL AND COMMERCIAL PORTIONS) (ZR23-632)(ZR33-431)-85ft or 9 stories whichever is less, then 20ft. initial setback on narrow street. Then 2.7 vertical distance to 1 horizontal distance.

NOTE:  
ALTERATION TYPE 1 FOR LOT # 31 IS FILED AND APPROVED UNDER APPLICATION # 122382830

CODE	REQ MAX	EXIST'G	PROPOSED	REMARKS
ZR 23-151	MAX FAR TOTAL	3.14	1.39	2.39
ZR 23-151	MAX FAR RESDNTL	3.14	1.39	1.39
ZR 33-121	MAX FAR COMM	2	0	1
ZR 23-151	MIN OBR	6.8%	N/A	N/A
ZR 23-632	FRONT YARD	NONE	NONE	NONE
ZR 33-25	SIDE YARD	N/A - 8'-0"	N/A	N/A
ZR 23-41	REAR YARD	30'-0"	13'-11"	
ZR 33-26				

\* EXIST'G REAR YARD IS NON-COMPLYING YARD WITH REGARD TO PERMITTED OBSTRUCTIONS - EXIST'G OBSTRUCTIONS ARE PUBLIC PARKING/ EATING & DRINKING ESTABLISHMENTS AS PER TABLE 3-4 CONSTR CLASS - ID - ROOF ASSEMBLY IHR

## ENERGY ANALYSIS:

NY9 ECCC CHAPTER 5  
CLIMATE ZONE 4A

ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE PRESCRIPTIVE VALUE AND CITATION
FRENCH DOOR	U-0.30, SHGC 0.21	U-0.35 (SHGC 0.40) 502.3

LIGHTING FIXTURE: MIN. 50% OF LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS NY9 ECCC SEC. 503.5.3

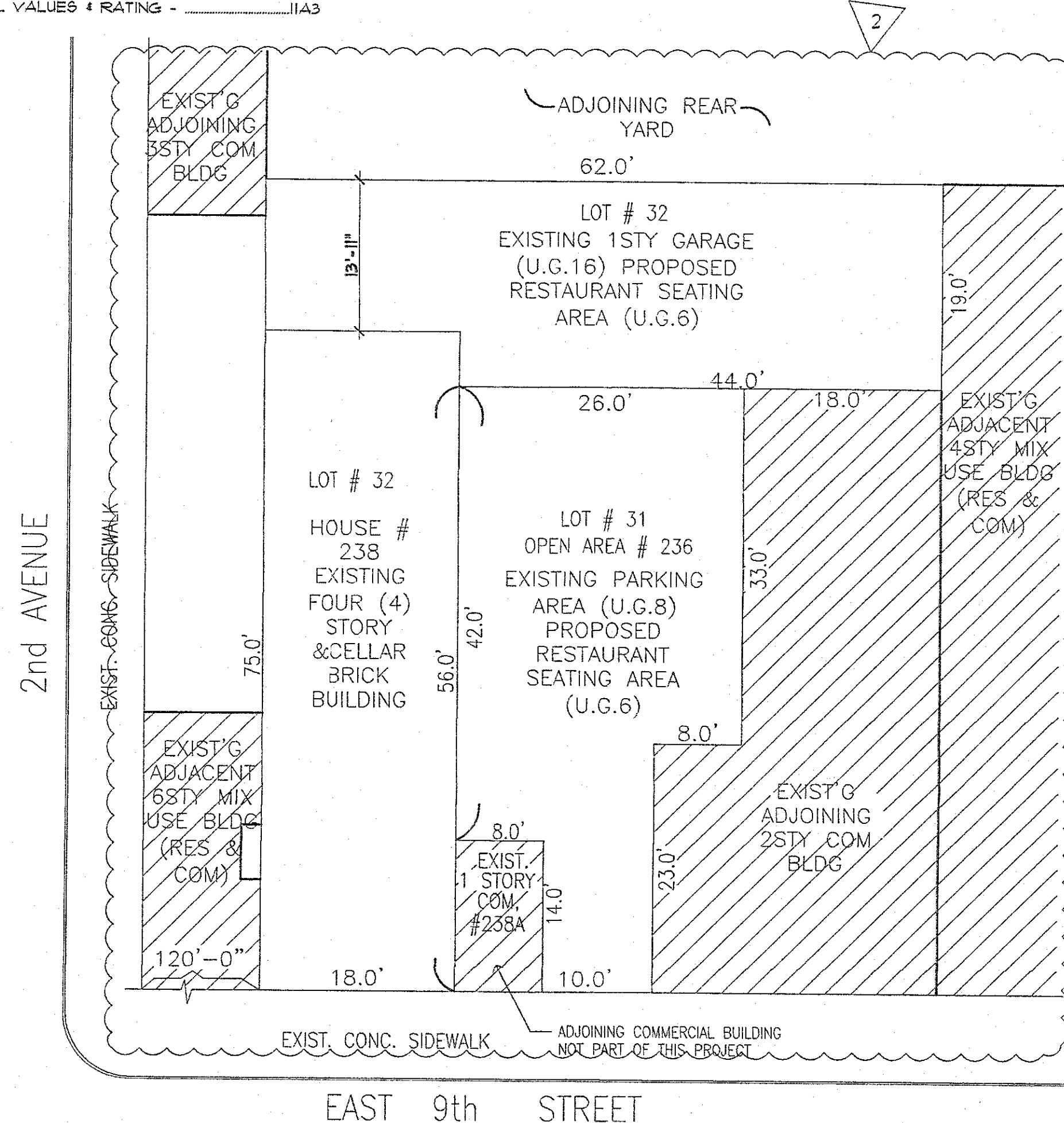
## PROFESSIONAL STATEMENT:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, ALL WORK UNDER THIS APPLICATION IS IN COMPLIANCE WITH THE NYC ECCC 2014

SALVATORE PRAINITO R.A.

## SPECIAL AND PROGRESS INSPECTIONS

ENERGY CODE COMPLIANCE INSPECTIONS (TR-8) B.C.10935  
FENESTRATION THERMAL VALUES & RATING - 11A3



EAST 9th STREET

1 PLOT PLAN  
Scale: 1/8"=1'-0"

## AUDITED FOLDER

### AUDIT STATUS

✓ Issued/Acc. 6/17/20

✓ Conditionally Accepted

✓ Rejected

Date: MAY 10 2017

DOB 10003 Sub No. 121682329


AS PER HFD 1 CASE#

DOB 10003 Sub No. 121682329

DOB 10003 Sub No. 121682329

## NOTE:

- FIRE SUPPRESSION ANSUL SYSTEM FILED UNDER APPLICATION NUMBER 122280368
- ALL PLUMBING WORK TO BE FILED APPLICATION NUMBER 122427221
- ALL KITCHEN EQUIPMENT TO BE FILED UNDER APPLICATION NUMBER 122427221

2	AMENDMENT	05-01-17		PROJECT: 238 EAST 9TH STREET, NEW YORK, NY 10003			
1	AMENDMENT	01-13-17		PRAINITO DESIGN GROUP L.L.C. 20-57 STEINWAY STREET, ASTORIA, N.Y. 11105 (917) 647-2704			DRAWING NO.
NO:	REVISION:	DATE:		DATE: 06-08-15	SCALE: AS NOTED	DRAWN BY: ELENA B.	PROJECT NO. 37-14
				A-001.02			
				SHEET 1 OF 4			

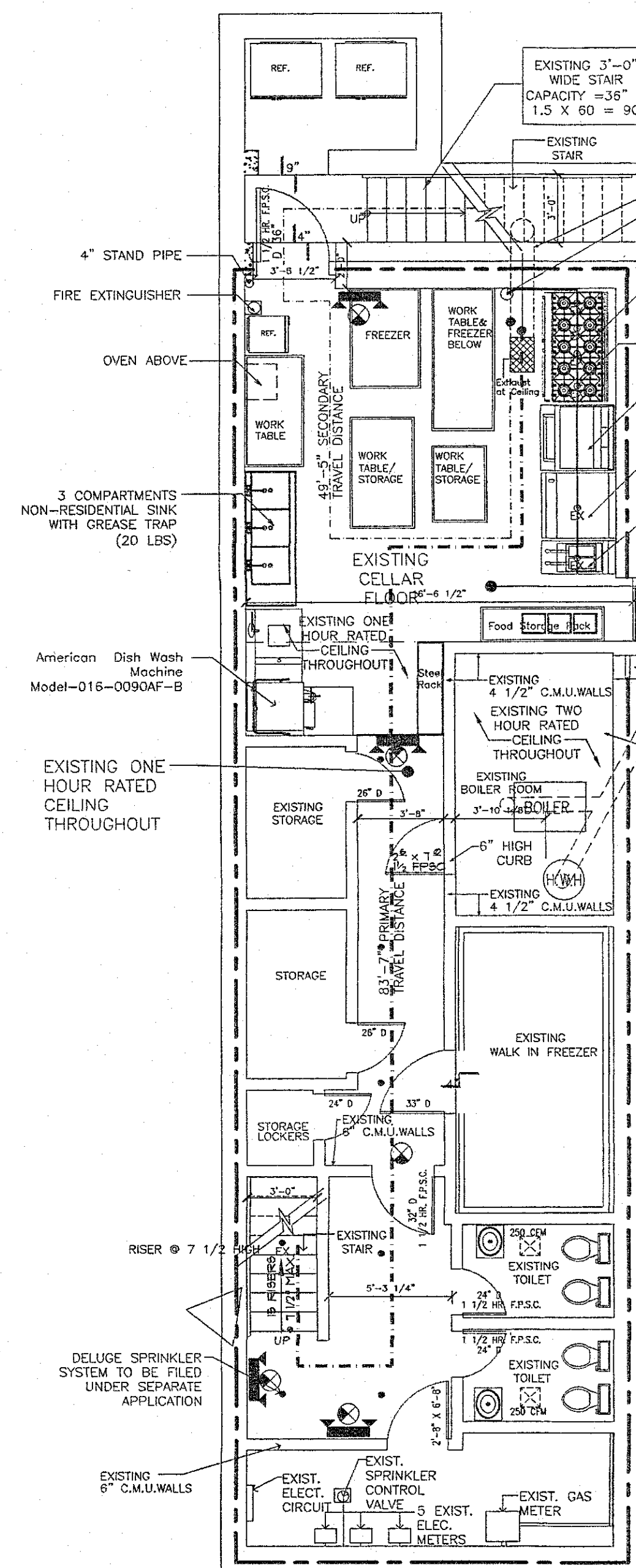


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DRAWING TITLE: EXISTING RECORDS & SURVEY FOR REFERENCE PURPOSES ONLY				
PROJECT: 238 EAST 9TH STREET, NEW YORK, NY 10003				
PRAINTO DESIGN GROUP L.L.C. 43-38 166 STREET, FLUSHING N.Y. 11358 (917) 647-2704			DRAWING NO.  A-002.00	
DATE: 06-08-15	SCALE: AS NOTED	DRAWN BY: ELENA B.	PROJECT NO. 37-14	SHEET 2 OF 4



NOTE:  
A FIRE DIVISION OF 2 HOUR IS  
PROVIDED BETWEEN LOT 32 & LOT  
31



2 EXISTING CELLAR FLOOR PLAN  
Scale: 1/4"=1'-0"  
AREA=1,014 SF

NOTE:  
PA PLAN REQUIREMENT IS WAIVED  
UNDER REQUIREMENT ITEM LIST BY  
DOB PLAN EXAMINER ON 9-1-15

NOTE:  
- FIRE SUPPRESSION ANSUL SYSTEM FILED UNDER APPLICATION NUMBER 122280968  
- ALL PLUMBING WORK TO BE FILED APPLICATION NUMBER 122427221  
- ALL KITCHEN EQUIPMENT TO BE FILED UNDER APPLICATION NUMBER 122427221

CELLAR SPACE IS  
PRE-EXISTING ACCESSORY  
USE (KITCHEN) TO THE  
PRE-EXISTING FIRST FLOOR  
USE

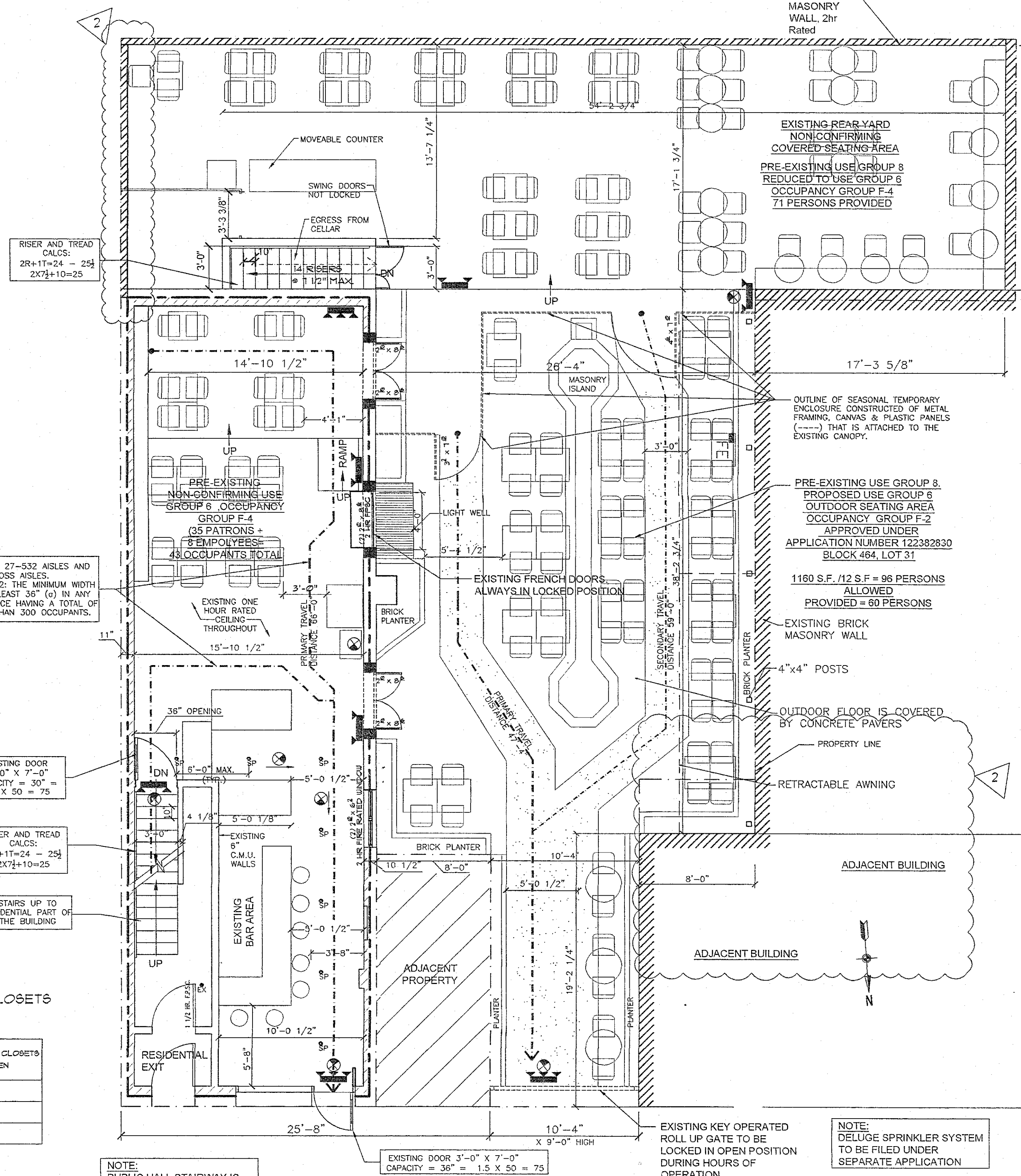
FRESH AIR LOUVER (12X15)  
WITH VERTICAL FIRE DAMPER  
(PERMANENTLY OPEN)  
NOTE: BOILER ROOM IS  
ENCLOSED BY  
NONCOMBUSTIBLE  
CONSTRUCTION WITH TWO  
HOUR FIRE-RESISTANCE  
RATING AT BOTH CEILINGS  
AND WALLS.  
BOILER PRESSURE IS LESS  
THAN 15 PSI & HAVING  
RATING IN EXCESS OF LESS  
THAN 10 HORSEPOWER

TABLE 16-1 MINIMUM NUMBER OF WATER CLOSETS  
FOR SPECIFIED PLACES OF ASSEMBLY

NUMBER OF PERSONS	NUMBER OF WATER CLOSETS FOR MEN	NUMBER OF WATER CLOSETS FOR WOMEN
1 - 150	2	2
151 - 300	4	4
301 - 450	6	6

\*COPY IN BRACKETS NOT ENACTED BUT PROBABLY INTENDED  
NOTE FOR THE TABLE 16-1:  
a. THE REQUIREMENTS FOR THE NUMBER OF WATER CLOSETS  
FOR OCCUPANCY BY 150 PERSONS OR LESS SHALL NOT  
APPLY TO BARS EXCEPT THAT THERE SHALL BE AT LEAST  
ONE WATER CLOSET FOR MEN AND AT LEAST ONE WATER  
CLOSET FOR WOMEN OR AN EQUIVALENT NUMBER OF UNSEX  
BATHROOMS.

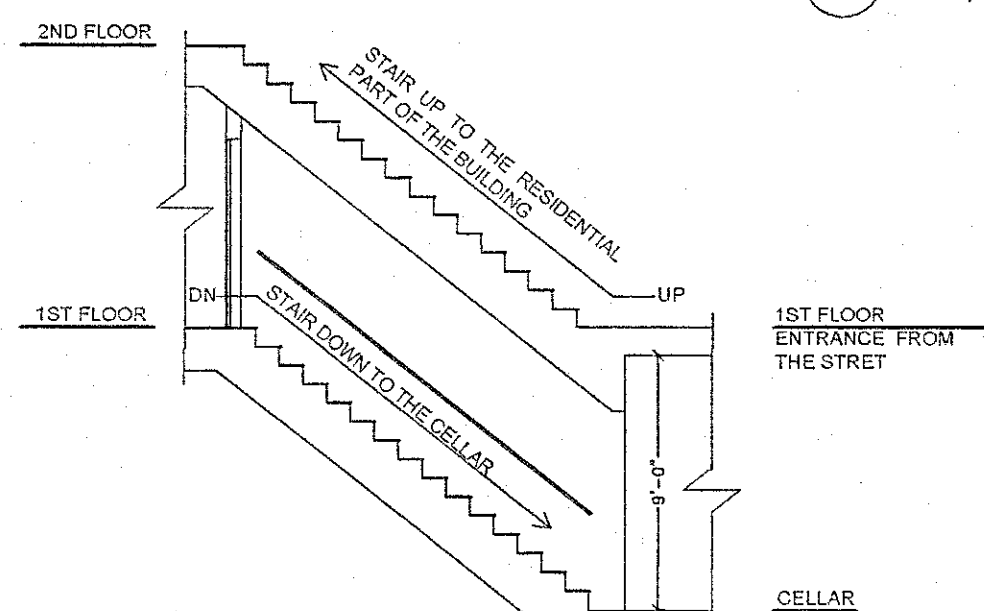
NOTE: TOTAL OCCUPANCY LOAD FOR LOT 32 = 148 PERSONS



3 EXISTING FIRST FLOOR PLAN  
Scale: 1/4"=1'-0"  
AREA=1,014 SF

NOTE:  
PROPOSED OCCUPANCY IS LESS  
THAN 75 PEOPLE IN INDOOR SPACE  
AND LESS THAN 200 PEOPLE IN  
OUTDOOR SPACE WHICH FULLY  
COMPLY WITH NYC BUILDING CODE  
1968, TITLE 27, SUBCHAPTER 3,  
SECTION 27-254 AND DOESN'T  
REQUIRE PA.

NOTE:  
ALL EXITS COMPLY WITH TABLE #  
8-1, TITLE 27, SUBCHAPTER 8 OF  
NYC BUILDING CODE 1968.



4 STAIR DETAIL  
Scale: 3/16"=1'-0"

## OCCUPANCY CALCULATION:

INTERIOR EATING & DRINKING ESTABLISHMENT (LOT-32)  
ASSEMBLY AREA = 742 S.F.  
AS PER TABLE 8-2 (12 S.F. PER OCCUPANT - NO FIXED SEATING)  
SEATING AREA 742 S.F./12 S.F. = 62 PERSONS (ALLOWED)  
EMPLOYEES = 8 PROVIDED (OK)  
TOTAL = 43 PROVIDED (OK)

KITCHEN AREA = 578 S.F.  
440 S.F./200 S.F. = 2 PERSONS (ALLOWED)  
2 STORAGE ROOMS = 2 PERSONS (ALLOWED)  
BOILER ROOM = 1 PERSONS (ALLOWED)  
TOTAL = 5 PERSONS (ALLOWED)

EXIT CAPACITY PER TABLE 8-1  
EXIT OPENING REQUIRED - 50 PERSONS / UNITS OF WIDTH (22")  
67 / 50 X 22 = 30" REQUIRED  
EXIT OPENINGS PROVIDED - 3'-0" + (2)2'-0" DOORS OR 84" (OK)

EXTERIOR EATING & DRINKING ESTABLISHMENT (LOT-32)  
ASSEMBLY AREA = 959 S.F.  
AS PER TABLE 8-2 (12 S.F. PER OCCUPANT - NO FIXED SEATING)  
SEATING AREA 959 S.F./12 S.F. = 79 PERSONS (ALLOWED)  
TOTAL = 71 PROVIDED (OK)

EXIT CAPACITY PER TABLE 8-1  
EXIT OPENING REQUIRED - 50 PERSONS / UNITS OF WIDTH (22")  
79 / 50 X 22 = 34" REQUIRED  
EXIT OPENINGS PROVIDED - 34" + 54" = 88" (OK)

INTERIOR EATING & DRINKING ESTABLISHMENT = 62 PERSONS (ALLOWED)  
EXTERIOR EATING & DRINKING ESTABLISHMENT = 79 PERSONS (ALLOWED)  
TOTAL ALLOWED = 141 PERSONS (ALLOWED)  
119 PROVIDED (OK)

EXIT CAPACITY PER TABLE 8-1  
EXIT OPENING REQUIRED - 400 PERSONS / UNITS OF WIDTH (22")  
145 / 400 X 22 = 8" REQUIRED  
EXIT OPENINGS PROVIDED - 60" (OK)

## TRAVEL DISTANCE ANALYSIS

### PER TABLE 8-1

PRIMARY TRAVEL DISTANCE : 85 FT. MAX  
TRAVEL DISTANCE MAY BE INCREASED BY 50% IF SPRINKLERS ARE PROVIDED

NOTE:  
ALTERATION TYPE 1 FOR  
LOT # 31 IS FILED AND  
APPROVED UNDER  
APPLICATION # 122382830

## EGRESS LEGEND:

- NEW EMERGENCY EXIT LIGHT (TWO HEADS) WITH ILLUMINATED EXIT SIGN WITH BATTERY BACK UP
- NEW EMERGENCY EXIT LIGHT (TWO HEADS) WITH BATTERY BACK UP
- NEW EMERGENCY EXIT LIGHT (TWO HEADS) WITH BATTERY BACK UP
- NEW DIRECTIONAL - ILLUMINATED EXIT SIGN WITH BATTERY BACK UP
- NEW SURFACE MOUNTED FIRE EXTINGUISHER FOR TYPE A,B, & C FIRE
- EXISTING SPRINKLERS
- PROPOSED SPRINKLERS
- PRIMARY TRAVEL PATH

## LEGEND:

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW PARTITION
- EXISTING BRICK MASONRY 2HR WALL
- EXISTING CONCRETE FOUNDATION WALL
- FIRE-RATED PARTITION

## AUDITED FOLDER

### AUDIT STATUS

✓ Passed/Accepted

□ Conditionally/Accepted

□ Failed

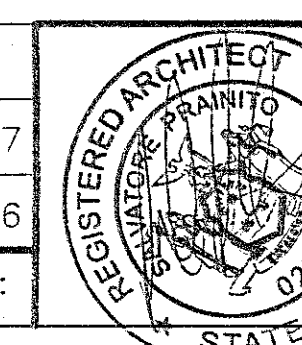
P.E. / Date MAY 10 2017

DEPT. OF BUILDINGS Job No. 121692329

Scan Code ESH56543006

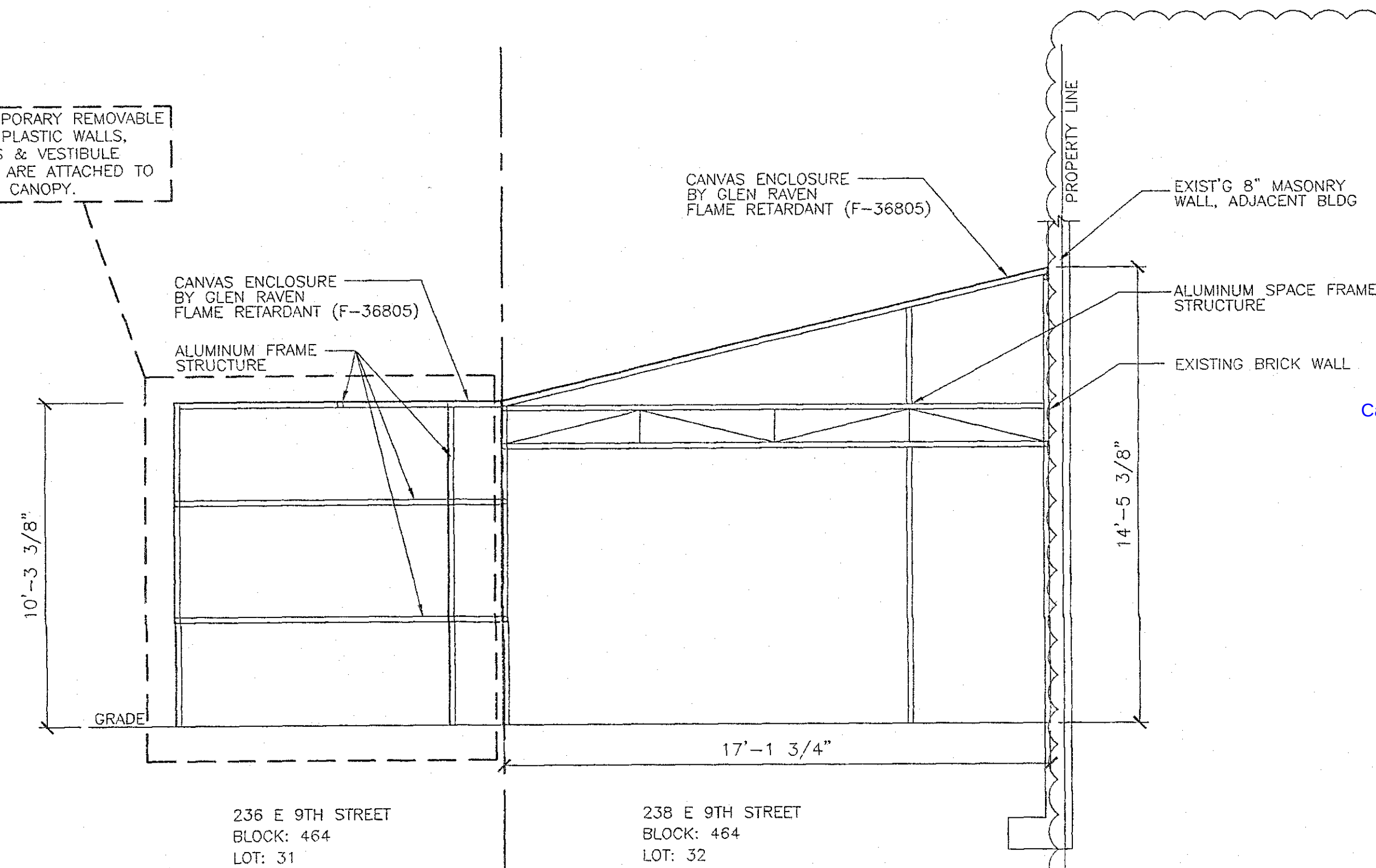
DATE: 06-16-15

DRAWING TITLE:	PLOT PLAN, CELLAR, & FIRST FLOOR PLAN
PROJECT:	238 EAST 9TH STREET, NEW YORK, NY 10003
DRAWN BY:	ELINA B.
CHECKED BY:	ELINA B.
DATE:	06-16-15
SCALE:	AS NOTED
PROJECT NO.:	31-14
DRAWING NO.:	A-101.02
SHEET 3 OF 4	



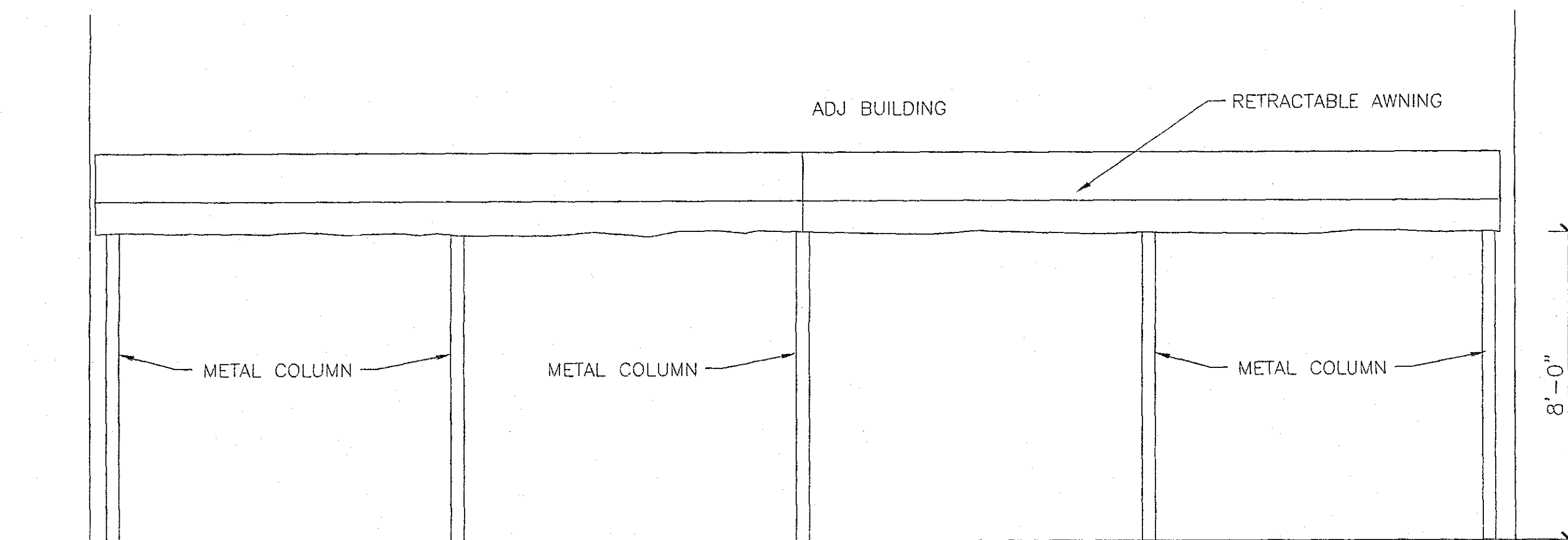


AREA OF TEMPORARY REMOVABLE CANVAS AND PLASTIC WALLS, DOOR PANELS & VESTIBULE PANELS THAT ARE ATTACHED TO THE EXISTING CANOPY.

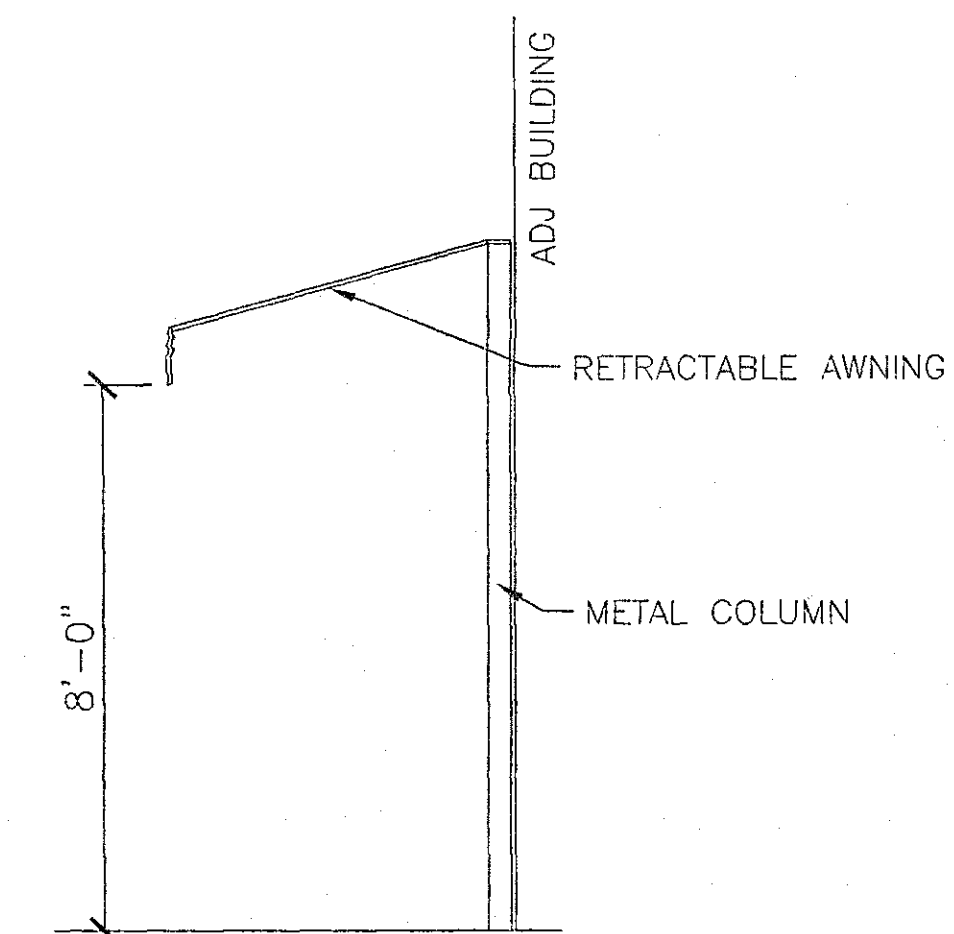


2 EXISTING SECTION AT CANVAS ENCLOSURE  
NTS

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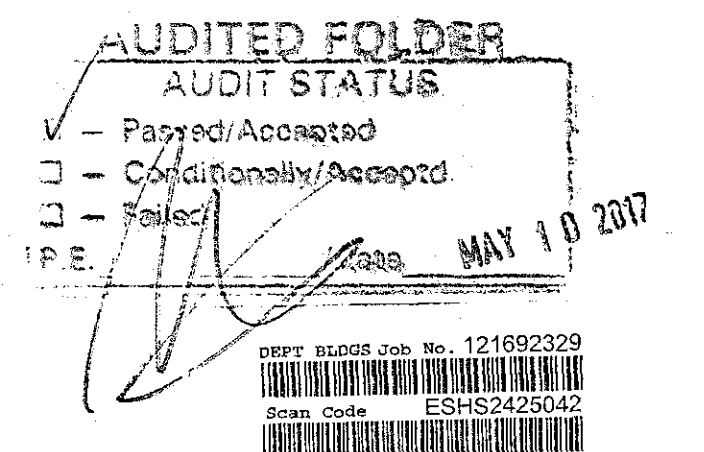
3 EXISTING ELEVATION AT RETRACTABLE AWNING  
NTS



4 EXISTING SECTION AT RETRACTABLE AWNING  
NTS

NOTE:

- FIRE SUPPRESSION ANSUL SYSTEM FILED UNDER APPLICATION NUMBER 122200968
- ALL PLUMBING WORK TO BE FILED APPLICATION NUMBER 122421221
- ALL KITCHEN EQUIPMENT TO BE FILED UNDER APPLICATION NUMBER 122421221



DRAWING TITLE:			BUILDING ELEVATION, DETAILS		
PROJECT:			238 EAST 9TH STREET, NEW YORK, NY 10003		
PRAINITO DESIGN GROUP L.L.C.			DRAWING NO.		
(917) 647-2704			A-20102		
DATE:			PROJECT NO.		
06-08-15			37-14		
SCALE:			SHEET 4 OF 4		
AS NOTED					
DRAWN BY:					
ELENA B.					